

Canterbury-Bankstown Council			
Dwelling Houses DCP 2015 Part B1			
CALCULATIONS:			
Site Area	518,428 sq m		
Maximum Building Footprint	330,000 sq m		
Ground Floor Plan	228,891 sq m		
Maximum Site Coverage 50%	259,214 sq m		
Provided 44.2%	228,891 sq m		
LANDSCAPE AREA:			
Deep Soil Areas 20%	103,686 sq m		
Provided 27.3%	141,417 sq m		
PRIVATE OPEN SPACE:			
Required Provided	80,000 sq m 147,668 sq m		
HEIGHT LIMITS:			
Maximum Wall Height	7,000 m		
Maximum Building Height	8,500 m		
Provided Wall Height	6,112 m		
Provided Building Height	7,814 m		
FRONT SETBACK:			
Primary Building Setback Provided	5,500 m 5,500 m		
Main Entrance	7,970 m		
REAR SETBACK:			
Minimum Proposed	6,000 m 12,343 m		
SIDE SETBACK:			
Minimum Proposed	0,900 m 1,180 m		

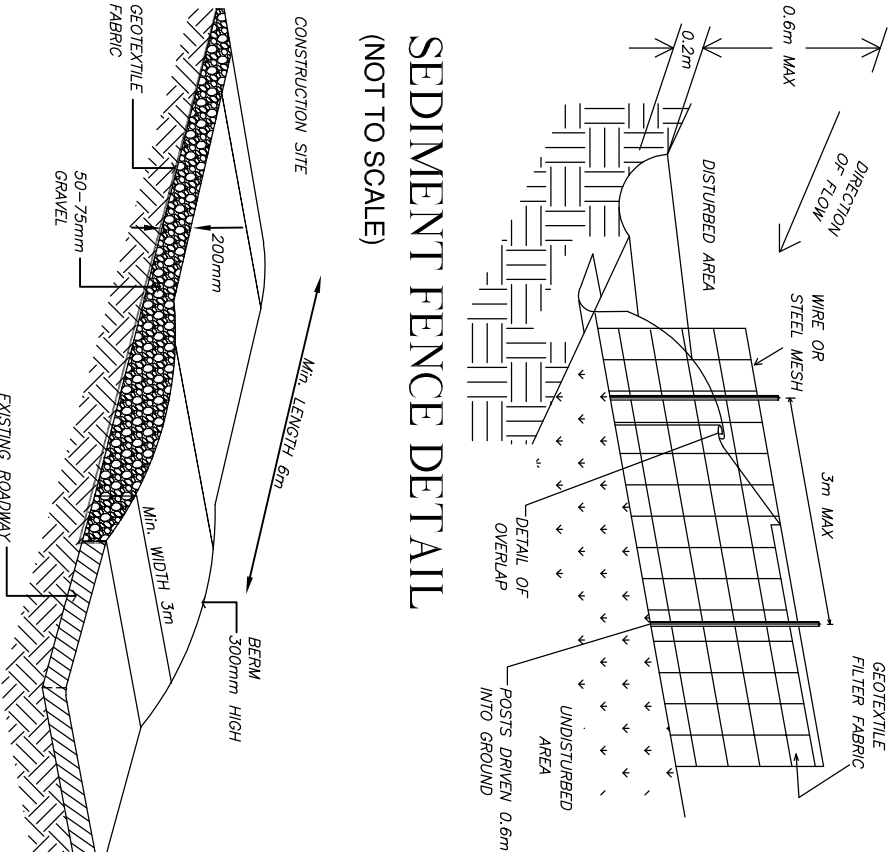
Proposed Two Storey Brick Veneer Dwelling

Swimming Pool and Retaining Walls

AT:

Lot 128, No. 5 Arncliffe Road

EARLWOOD

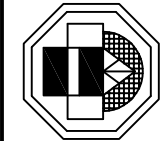


TEMPORARY CONSTRUCTION ENTRANCE & EXIT

(NOT TO SCALE)

ISSUE	DATE	REVISIONS	DRAWN

MOBRI PTY. LIMITED trading as
Peter John O'Brien & Associates
3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales
PH. (02) 9894 6764
MOBILE 0409 326 102
email: plans4u@bigpond.net.au
website: plans4u.com.au



PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS
AT:
Lot 128 DP 13914
5 ARNCLIFFE ROAD
EARLWOOD
FOR: A. NAHLOUS & C. MULCAHY

BASIX Commitments

SCALE
DRAWN
DRAWING NO:

N.T.S.
DATE
21-827/1

Certificate No. 1311858S_02 Dated: 29th June 2022
BASIX COMMITMENTS

The applicant must install showerheads with a minimum rating of 4 star
<4.5 but <= 6.0 L/min> in all showers in the development
The applicant must install a toilet flushing system with a minimum rating of 4 star
The applicant must install taps with a minimum rating of 4 star
In the kitchen in the development
The applicant must install basin taps with a minimum rating of 4 star
In each bathroom in the development

ALTERNATIVE WATER
The applicant must install a rainwater tank of at least 3,000 litres on the site
This rainwater tank must meet, and be installed in accordance with, the requirements
of all applicable regulatory authorities
The applicant must install a rainwater tank to collect rain runoff from at
least 134.21 square metres of the roof area of the development
The applicant must connect the rainwater tank to:
all toilets in the development
at least one outdoor tap in the development

SWIMMING POOL
The swimming pool must not have a volume greater than 36.0 kilolitre.
The swimming pool must have a pool cover.

THERMAL COMFORT
The applicant must construct the development in accordance with all thermal performance
specifications listed in the table below.
Floor - suspended floor above garage, framed - no additional insulation
External wall - brick veneer - R2.0 insulation
Internal wall - framed (weatherboard, fibre cement, metal clad - R2.0 insulation
Roof - weatherboard, fibre cement, metal clad - R2.0 insulation
Ceiling and roof - fibre cement, metal clad - R2.0 insulation
Roof framed: dark colour (solar absorbance < 0.70)

WINDOWS

ID	SIZE	FRAME AND GLASS TYPE	SHADING DETAILS
W1	NE 2057H x 895W	aluminium, double (u/p), clear	none
W2	NE 2057H x 690W	aluminium, double (u/p), clear	horizontal 1360mm, 2572mm above head of window or glazed door
W3	NE 2400H x 1200W	timber or uPVC, single clear	vertical 2470mm, 2572mm above head of window or glazed door
W9	NE 1200H x 2770W	aluminium, double (u/p), clear	base of window or glazed door
W10	NE 1200H x 1450W	aluminium, double (u/p), clear	eave 750mm, 0mm above head of window or glazed door
W6	SE 857H x 2410W	aluminium, double (u/p), clear	eave 750mm, 0mm above head of window or glazed door
W7	SE 1025H x 1810W	aluminium, double (u/p), clear	head of window or glazed door
W8	SE 857H x 2410W	aluminium, double (u/p), clear	eave 750mm, 2877mm above head of window or glazed door
W15	SE 857H x 730W	aluminium, double (u/p), clear	head of window or glazed door
W16	SE 857H x 1810W	aluminium, double (u/p), clear	eave 750mm, 0mm above head of window or glazed door
W17	SE 1200H x 1810W	aluminium, double (u/p), clear	head of window or glazed door
W18	SE 857H x 1450W	aluminium, double (u/p), clear	head of window or glazed door
W19	SE 600H x 2410W	aluminium, double (u/p), clear	eave 750mm, 0mm above head of window or glazed door
W5	SE 2100H x 6250W	aluminium, double (u/p), clear	eave 3450mm, 2610mm above head of window or glazed door
W13	SE 1200H x 2170W	aluminium, double (u/p), clear	head of window or glazed door
W14	SE 1200H x 2170W	aluminium, double (u/p), clear	eave 750mm, 0mm above head of window or glazed door
W4	SE 857H x 1810W	aluminium, single, clear	head of window or glazed door
W11	SE 1200H x 1810W	aluminium, single, clear	eave 1350mm, 0mm above head of window or glazed door
W12	SE 1200H x 2170W	aluminium, single, clear	eave 750mm, 0mm above head of window or glazed door

HOT WATER
The applicant must install the following hot water system in the development or
a system with a higher energy rating gas instantaneous with a performance of 3.5 stars.

COOLING SYSTEM
The applicant must install the following cooling system, or a system with a higher
energy rating, in a least 1 living area: 3-phase air-conditioning, energy rating: EER 2.5 - 3.0
The applicant must install the following cooling system, or a system with a higher
energy rating, in a least 1 bedroom: 3-phase air-conditioning, energy rating: EER 2.5 - 3.0
The cooling system must provide for day/night zoning between living areas and bedrooms.

HEATING SYSTEM
The applicant must install the following heating system, or a system with a higher
energy rating, in a least 1 living area: 3-phase air-conditioning, energy rating: EER 2.5 - 3.0
The applicant must install the following heating system, or a system with a higher
energy rating, in a least 1 bedroom: 3-phase air-conditioning, energy rating: EER 2.5 - 3.0
The heating system must provide for day/night zoning between living areas and bedrooms.

VENTILATION
The applicant must install the following exhaust system in the development:
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off
Laundry: natural ventilation only.

ARTIFICIAL LIGHTING
The applicant must ensure that the 'primary type of artificial lighting is fluorescent
'indicator' appears, the fittings for those lights must only be capable of accepting
fluorescent or light emitting diode (LED) lamps
at least 3 of the living / dining rooms
the kitchen
all bathrooms / toilets
the laundry

NATURAL LIGHTING
The applicant must install a window and/or skylight in the kitchen of the dwelling
for natural lighting
The applicant must install a window and/or skylight in 3 bathroom(s) (bath(s) in the
development for natural lighting

SWIMMING POOL
The applicant must install the following heating system for the swimming pool:
The applicant must install a timer for the swimming pool pump in the development.

ALTERNATIVE ENERGY
The applicant must install a photovoltaic system with the capacity to generate
at least 1,500 kilowatts of electricity as part of the development.
The applicant must connect this system to the development's electrical system.

OTHER
The applicant must install a gas cooking & gas oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is
'well ventilated'
The applicant must install a lined outdoor clothes drying line as part of the development

Colour Selection Schedule

C. Mulcahy & A. Nahlous

No. 5 Arncliffe Road, EARLWOOD

Colorbond roof & gutters: Monument, caviar or similar



Fascia: White or similar

Eaves: White or similar

Window Frames: Black



Garage Door: Monument or similar



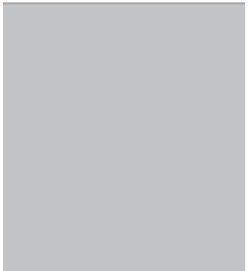
Front door: Monument or similar



Front Facade Render 1: Classic Cool or similar

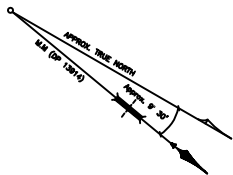


Horizontal Cladding: Grey Cinder or similar

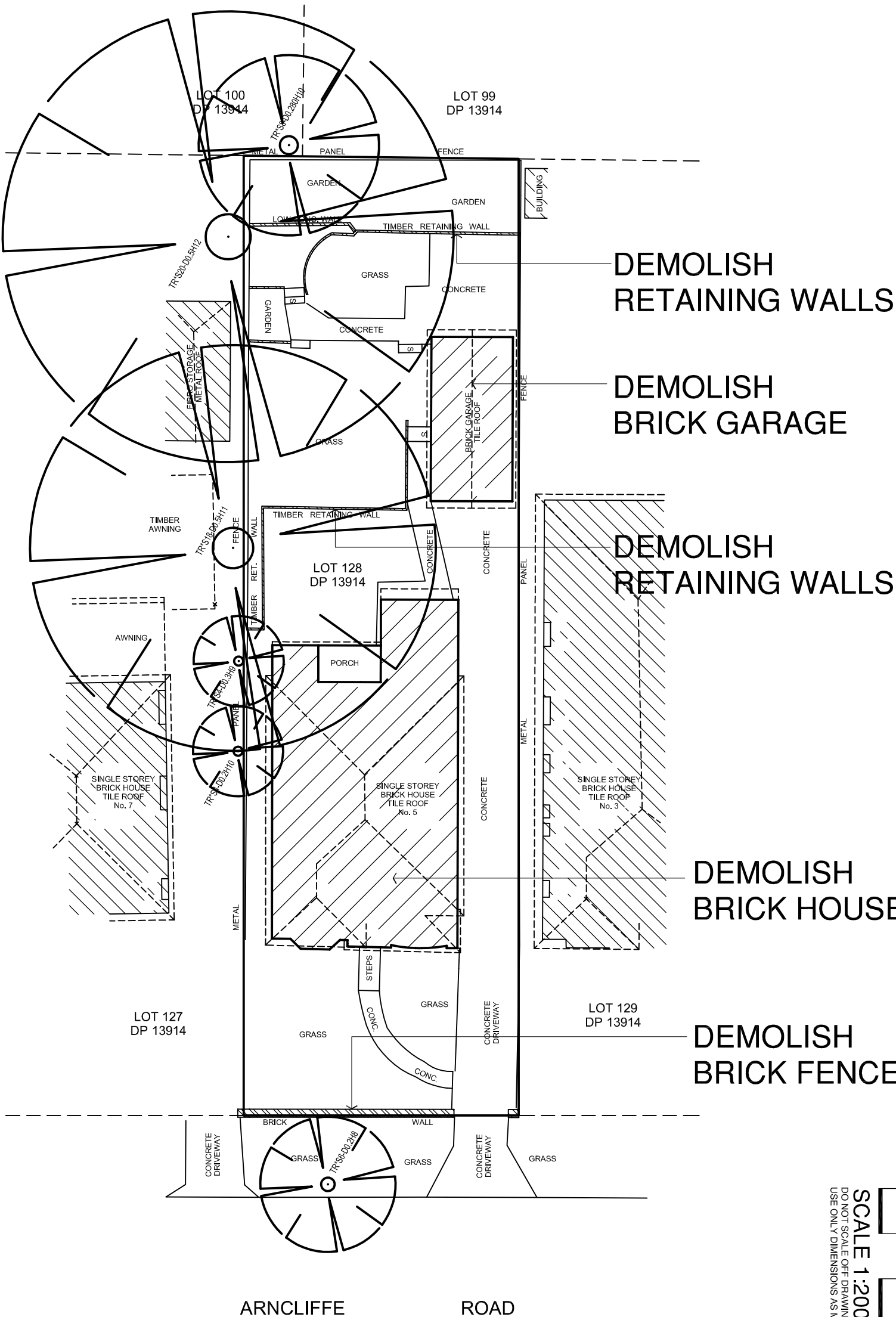


Bricks: Austral Romero or similar





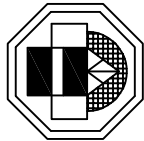
- NOTES
- The demolition works shall be carried out in accordance with AS 2601-2001, *The demolition of structures*
 - Essential services shall be disconnected from the structures being demolished or removed in accordance with the requirements of the relevant authority
 - No trees shall be removed or pruned (including roots) unless a Council permit has been obtained prior or such trees are marked fro removal on this plan



0 10.0m
SCALE 1:200 @ A3
DO NOT SCALE OFF DRAWINGS
USE ONLY DIMENSIONS AS MARKED

ISSUE DATE REVISIONS DRAWN

MOBRI PTY. LIMITED trading as
Peter John O'Brien & Associates
3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales
A.B.N. 49 511 228 067
PH. (02) 9894 6764
MOBILE 0409 326 102
email: plans4u@bigpond.net.au
website: plans4u.com.au



PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS
AT: Lot 128 DP 13914
5 ARNCLIFFE ROAD
EARLWOOD
FOR: A. NAHLOUS & C. MULCAHY

Demolition Plan

SCALE 1:200
DRAWN P.O'BRIEN
DRAWING NO: 21-827/2
DATE 27.06.2022

CONCRETE FOOTINGS TO AS 2870.2011
PLUMBING TO AS 3500-2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS 3660
DPC & FLASHING TO AS 2904
DOORS AND WINDOWS TO AS 2047

SELECTED CEMENT ROOF TILES
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

SELECTED COLOURBOND FASCIA, GUTTERS
AND MATCHING DOWNPIPES
IN ACCORDANCE WITH PART 3.5.3 OF NCC 2019

F.C. FLAT SHEET TO
UNDERSIDE OF EAVES
SELECTED HORIZONTAL BOARDING
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

SELECTED BRICKWORK EXTERNAL WALLS
IN COMPLIANCE WITH PART 3.8.7 OF NCC 2019
FOR CONDENSATION MANAGEMENT

POWDER COATED ALUMINIUM
WINDOWS AND DOORS
PAINTED CEMENT RENDER WITH
CONTRASTING COLOURS

RETAINING WALLS TO BE
LOCATED WHOLLY WITHIN
PROPERTY BOUNDARIES

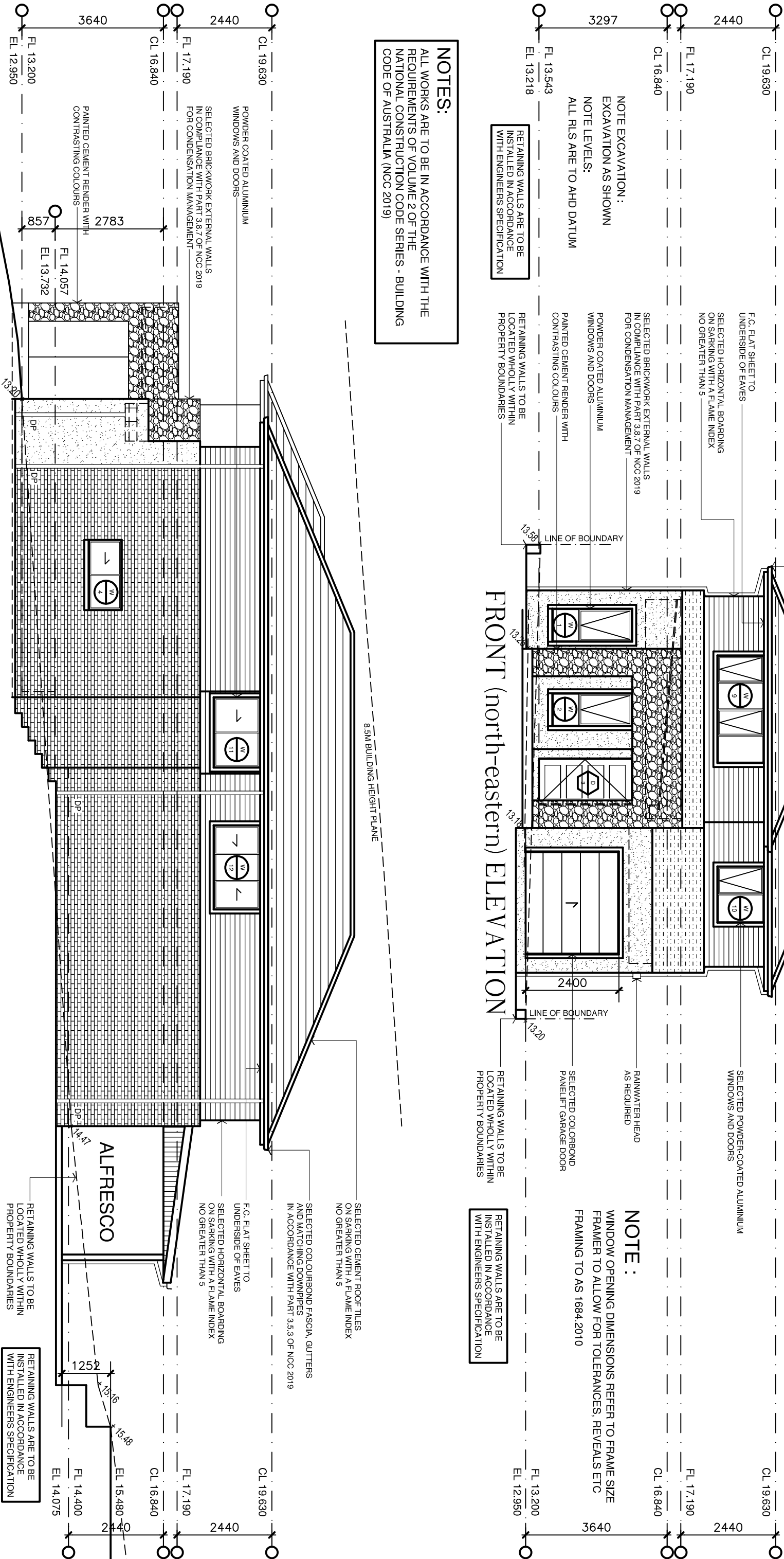
NOTE :
NEW FIRST FLOOR WINDOWS
TO BE PROTECTED IN ACCORDANCE
WITH PART 3.9.2.6 & 3.9.2.7 OF THE NCC 2019

SCALE 1:100 @ A3
DO NOT SCALE OFF DRAWINGS
USE ONLY DIMENSIONS AS MARKED

FRONT (north-eastern) ELEVATION

NOTES:

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE
REQUIREMENTS OF VOLUME 2 OF THE
NATIONAL CONSTRUCTION CODE SERIES - BUILDING
CODE OF AUSTRALIA (NCC 2019)



R.H. SIDE (north-western) ELEVATION

MOBRI PTY. LIMITED trading as
Peter John O'Brien & Associates
3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales

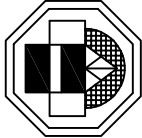
ISSUE DATE REVISIONS DRAWN

A.B.N. 49 511 229 067

PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS

AT: Lot 128 DP 13914
5 ARNCLEFFE ROAD
EARLWOOD

FOR: A. NAHLOUS & C. MULCAHY



PH. (02) 9894 6764
MOBILE 0409 326 102
email: plans4u@bjpond.net.au
website: plans4u.com.au

Elevations-1

SCALE 1:100 DATE 27.06.2022

DRAWN P.O'BRIEN
DRAWING NO: 21-872/13

SELECTED CEMENT ROOF TILES
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

SELECTED COLOURBOND FASCIA, GUTTERS
AND MATCHING DOWNPIPES
IN ACCORDANCE WITH PART 3.5.3 OF NCC 2019

F.C. FLAT SHEET TO
UNDERSIDE OF EAVES
SELECTED HORIZONTAL BOARDING
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

SELECTED BRICKWORK EXTERNAL WALLS
IN COMPLIANCE WITH PART 3.8.7 OF NCC 2019
FOR CONDENSATION MANAGEMENT

POWDER COATED ALUMINIUM
WINDOWS AND DOORS

PAINTED CEMENT RENDER WITH
CONTRASTING COLOURS

MASONRY RETAINING WALL
LOCATED WHOLLY WITHIN
PROPERTY BOUNDARIES

NOTES:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE
REQUIREMENTS OF VOLUME 2 OF THE
NATIONAL CONSTRUCTION CODE SERIES - BUILDING
CODE OF AUSTRALIA (NCC 2019)

SELECTED CEMENT ROOF TILES
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

SELECTED COLOURBOND FASCIA, GUTTERS
AND MATCHING DOWNPIPES
IN ACCORDANCE WITH PART 3.5.3 OF NCC 2019

F.C. FLAT SHEET TO
UNDERSIDE OF EAVES
SELECTED HORIZONTAL BOARDING
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

150 x 150 TIMBER POSTS
ON GALVANISED POST SHOES

RETAINING WALLS TO BE
LOCATED WHOLLY WITHIN
PROPERTY BOUNDARIES

RETAINING WALLS ARE TO BE
INSTALLED IN ACCORDANCE
WITH ENGINEERS SPECIFICATION

L.H. SIDE (south-eastern) ELEVATION

ISSUE	DATE	REVISIONS	DRAWN

MOBRI PTY. LIMITED trading as

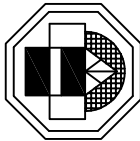
Peter John O'Brien & Associates

3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales

PH. (02) 9894 6764
MOBILE 0409 326 102

A.B.N. 49 511 228 067

email: plans4u@bigpond.net.au
website: plans4u.com.au



PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS

AT:

Lot 128 DP 13914
5 ARNCILFFE ROAD
EARLWOOD

FOR:

A. NAHLOUS & C. MULCAHY

NOTE :
NEW FIRST FLOOR WINDOWS
TO BE PROTECTED IN ACCORDANCE
WITH PART 3.9.2.6 & 3.9.2.7 OF THE NCC 2019

SCALE 1:100 @ A3
DO NOT SCALE OFF DRAWINGS
USE ONLY DIMENSIONS AS MARKED

SELECTED POWDER-COATED ALUMINIUM
WINDOWS AND DOORS
SELECTED COLOURBOND ROOF
TO ALFRESCO AREA
RETAINING WALLS TO BE
LOCATED WHOLLY WITHIN
PROPERTY BOUNDARIES

NOTE EXCAVATION :
EXCAVATION AS SHOWN
NOTE LEVELS:
ALL RLS ARE TO AHD DATUM

NOTE :
WINDOW OPENING DIMENSIONS REFER TO FRAME SIZE
FRAMER TO ALLOW FOR TOLERANCES, REVEALS ETC
FRAMING TO AS 1684.2010
CONCRETE FOOTINGS TO AS 2870.2011
PLUMBING TO AS 3500-2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS 3660
DPC & FLASHING TO AS 2904
DOORS AND WINDOWS TO AS 2047

REAR (south-western) ELEVATION

8.5M BUILDING HEIGHT PLANE

15 KILOWATT PHOTOVOLTAIC
SYSTEM ON THE ROOF

POWDER COATED ALUMINIUM
WINDOWS AND DOORS

SELECTED BRICKWORK EXTERNAL WALLS
IN COMPLIANCE WITH PART 3.8.7 OF NCC 2019
FOR CONDENSATION MANAGEMENT

PAINTED CEMENT RENDER WITH
CONTRASTING COLOURS

ELECTRICAL
METER BOX

Elevations-2
SCALE 1:100
DATE 27.06.2022
DRAWN P.O'BRIEN
DRAWING NO: 21-872/14

ISSUE	DATE	REVISIONS	DRAWN

MOBRI PTY. LIMITED trading as
Peter John O'Brien & Associates
3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales

A.B.N. 49 511 228 067

PH. (02) 9894 6764
MOBILE 0409 326 102

email: plans4u@bigpond.net.au
website: plans4u.com.au

PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS

AT:
Lot 128 DP 13914
5 ARNCLEFFE ROAD
EARLWOOD

FOR: A. NAHLOUS & C. MULCAHY

First Floor Plan

SCALE
DRAWN
DRAWING NO:

1:100
P.O'BRIEN
21-827/10

DATE
27.06.2022

NOTE :

WINDOW OPENING DIMENSIONS REFER TO FRAME SIZE
FRAMER TO ALLOW FOR TOLERANCES, REVEALS ETC
FRAMING TO AS 1684.2010
CONCRETE FOOTINGS TO AS 2870.2011
PLUMBING TO AS 3500-2003
MASONRY TO AS 4773 & 3700
TERMITE CONTROL TO AS 3660
DPC & FLASHING TO AS 2904
DOORS AND WINDOWS TO AS 2047

NOTE :

STAIRS TO COMPLY WITH 'NON-SLIP'
REQUIREMENTS OF NCC 2019
P3 OR R10 INDOOR STAIRS

NOTE :

NEW FIRST FLOOR WINDOWS
TO BE PROTECTED IN ACCORDANCE
WITH PART 3.9.2.6 & 3.9.2.7 OF THE NCC 2019

NOTE :

THE WATER CLOSET AND BATHROOM
WILL BE CONSTRUCTED IN ACCORDANCE
WITH AS3740

note:

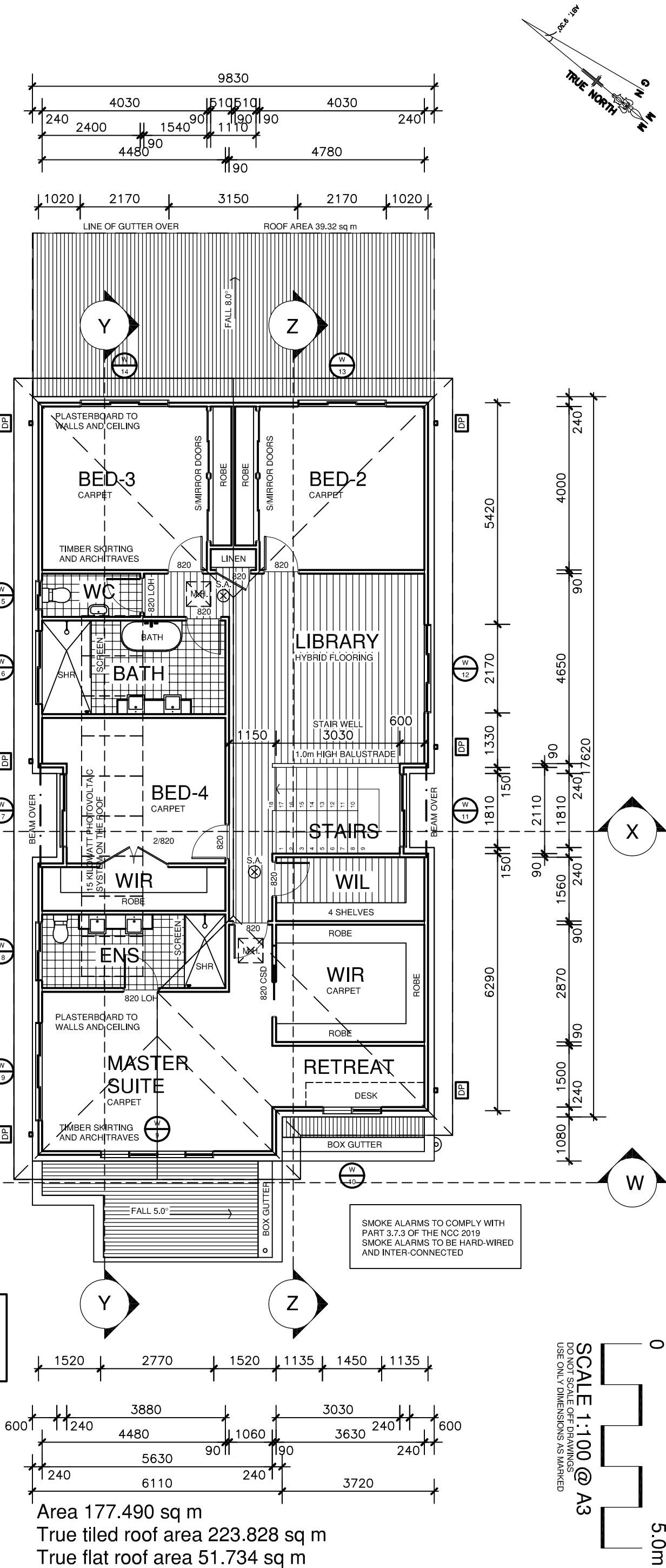
REMOVABLE DOOR WITH
LIFT-OFF HINGES TO W.C.

NOTES:

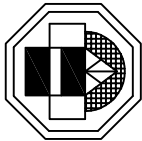
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE
REQUIREMENTS OF VOLUME 2 OF THE
NATIONAL CONSTRUCTION CODE SERIES - BUILDING
CODE OF AUSTRALIA (NCC 2019)

ACCEPTABLE CONSTRUCTION PRACTICE

3.8.7.2 Pliable building membrane
NO PLIABLE BUILDING MEMBRANE WRAP WILL BE USED
3.8.7.3 Flow rate & discharge of exhaust systems
THE EXHAUST SYSTEM IN THE KITCHEN IS TO BE 40 L/S
THE EXHAUST SYSTEM IN THE BATHROOMS IS TO BE 25 L/S
3.8.7.4 Ventilation of roof spaces
ALL EXHAUST SYSTEMS TO DISCHARGE INTO A ROOF SPACE
THE ROOF SPACE MUST BE VENTILATED TO THE OUTSIDE AIR
THROUGH EVENLY DISTRIBUTED OPENINGS



MOBRI PTY. LIMITED trading as
Peter John O'Brien & Associates
A.B.N. 49 511 228 067
3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales
PH. (02) 9894 6764
MOBILE 0409 326 102
email: plans4u@bigpond.net.au
website: plans4u.com.au



PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS

AT: Lot 128 DP 13914
5 ARNCLIFFE ROAD
EARLWOOD

FOR: A. NAHLIOUS & C. MULCAHY

Ground Floor Plan

SCALE	1:100	DATE	29.06.2017
DRAWN	P.ÖRGEN		
DRAWING NO.:			21-827

NOTE :
WINDOW OPENING DIMENSIONS REFER TO FRAME SIZE
FRAMER TO ALLOW FOR TOLERANCES, REVEALS ETC
FRAMING TO AS 1684:2010
CONCRETE FOOTINGS TO AS 2870:2011
PLUMBING TO AS 3500-2003

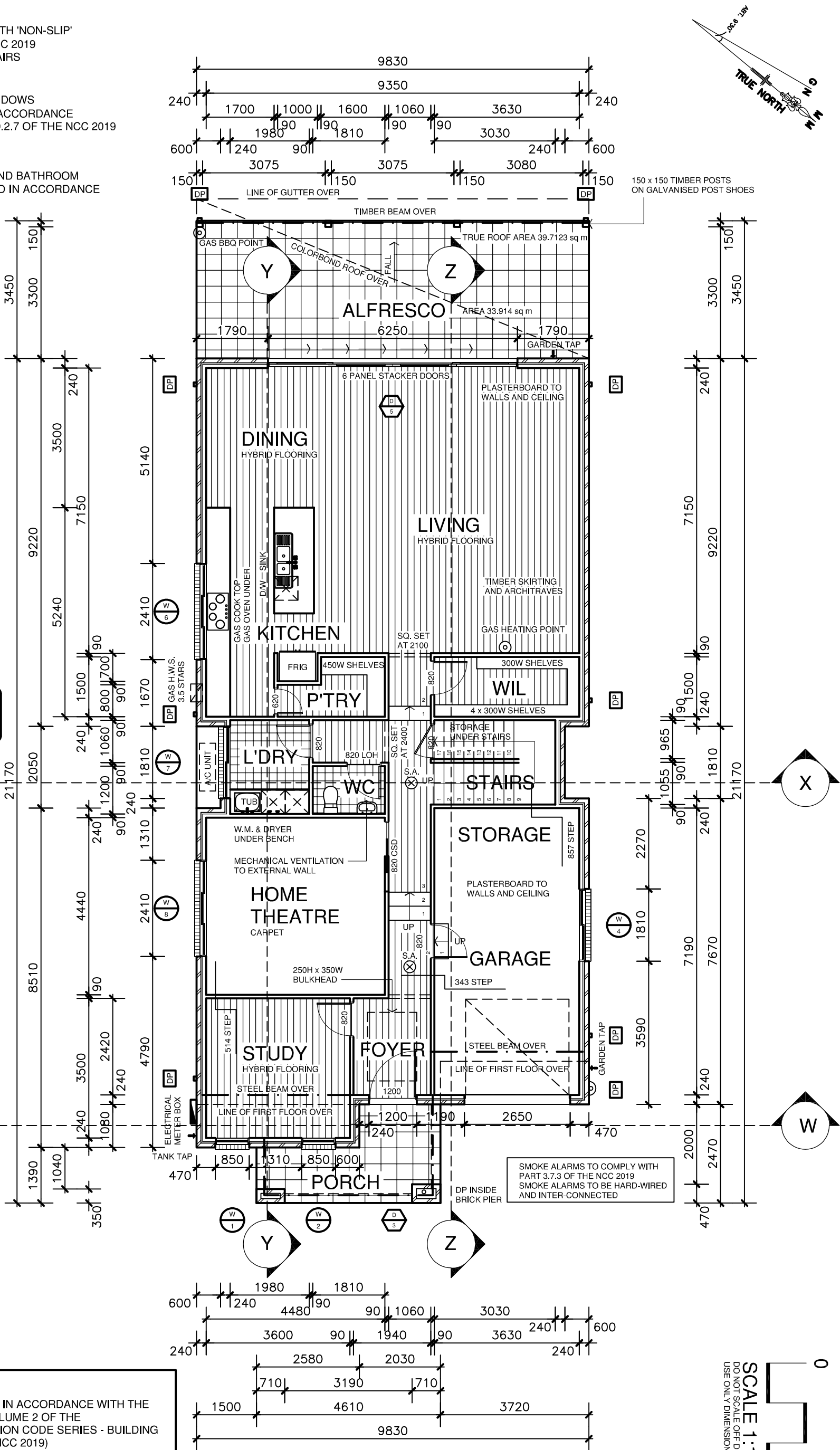
note:
REMOVABLE DOOR WITH
LIFT-OFF HINGES TO W.C.

NOTE:

NOTES:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE
REQUIREMENTS OF VOLUME 2 OF THE
NATIONAL CONSTRUCTION CODE SERIES - BUILDING
CODE OF AUSTRALIA (NCC 2019)

ACCEPTABLE CONSTRUCTION PRACTICE

3.8.7.2 Pliable building membrane
N/A
3.8.7.3 Flow rate & discharge of exhaust systems
THE EXHAUST SYSTEM IN THE KITCHEN IS TO BE 40 L/S
THE EXHAUST SYSTEM IN THE BATHROOMS IS TO BE 25 L/S
3.8.7.4 Ventilation of roof spaces
ALL EXHAUST SYSTEMS TO DISCHARGE INTO A ROOF SPACE
THE ROOF SPACE MUST BE VENTILATED TO THE OUTSIDE AIR
THROUGH EVENLY DISTRIBUTED OPENINGS



LIVING	157.044 sq m
GARAGE	28.870 sq m
ALFRESCO	33.914 sq m
PORCH	8.600 sq m
TOTAL	228.428 sq m

SCALE 1:100 @ A3
DO NOT SCALE OFF DRAWINGS
USE ONLY DIMENSIONS AS MARKED

0 5.0m

SELECTED CEMENT ROOF TILES
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

TIMBER FRAMES AND TRUSSES
TO AS 1684.4 RTFC

SELECTED COLOURBOND FASCIA, GUTTERS
AND MATCHING DOWNPIPES
IN ACCORDANCE WITH PART 3.5.3 OF NCC 2019

R3.5 INSULATION TO CEILINGS
R2.0 INSULATION TO EXTERNAL WALLS

RETAINING WALLS ARE TO BE
LOCATED WHOLLY WITHIN
PROPERTY BOUNDARIES

RETAINING WALLS ARE TO BE
INSTALLED IN ACCORDANCE
WITH ENGINEERS SPECIFICATION

SELECTED CEMENT ROOF TILES
ON SARKING WITH A FLAME INDEX
NO GREATER THAN 5

TIMBER FRAMES AND TRUSSES
TO AS 1684.4 RTFC

SELECTED COLOURBOND FASCIA, GUTTERS
AND MATCHING DOWNPIPES
IN ACCORDANCE WITH PART 3.5.3 OF NCC 2019

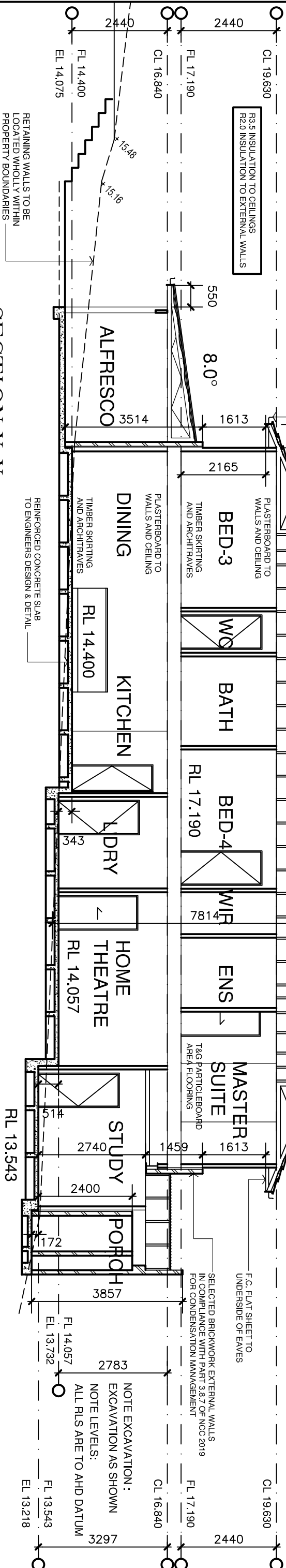
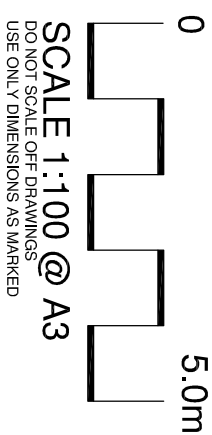
R3.5 INSULATION TO CEILINGS
R2.0 INSULATION TO EXTERNAL WALLS

RETAINING WALLS TO BE
LOCATED WHOLLY WITHIN
PROPERTY BOUNDARIES

RETAINING WALLS ARE TO BE
INSTALLED IN ACCORDANCE
WITH ENGINEERS SPECIFICATION

RIDGE LEVEL 21.712

8.5M BUILDING HEIGHT PLANE



SECTION Y-Y

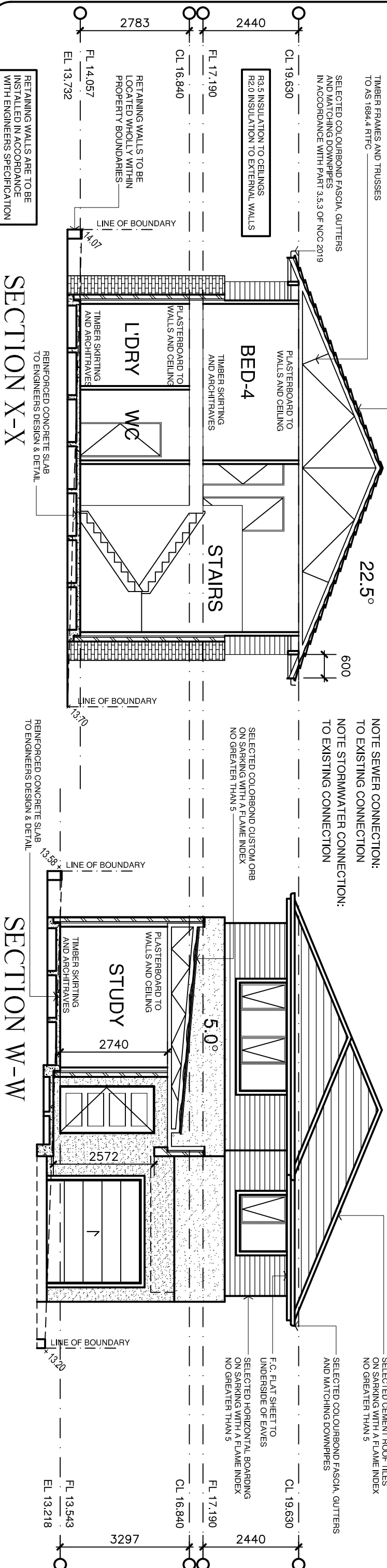
NOTE :
ALL STRUCTURAL WORKS:
TO CONSULTING STRUCTURAL ENGINEERS
DETAILS AND CERTIFICATION

NOTE :
STAIRS TO COMPLY WITH 'NON-SLIP'
REQUIREMENTS OF NCC 2019
P3 OR R10 INDOOR STAIRS

NOTE :
NEW FIRST FLOOR WINDOWS
TO BE PROTECTED IN ACCORDANCE
WITH PART 3.9.2.6 & 3.9.2.7 OF THE NCC 2019

NOTE :
THE WATER CLOSET AND BATHROOM
WILL BE CONSTRUCTED IN ACCORDANCE
WITH AS3740

NOTES:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE
REQUIREMENTS OF VOLUME 2 OF THE
NATIONAL CONSTRUCTION CODE SERIES - BUILDING
CODE OF AUSTRALIA (NCC 2019)



SECTION X-X

SECTION W-W

ISSUE	DATE	REVISIONS	DRAWN

MOBRI PTY. LIMITED trading as
Peter John O'Brien & Associates
3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales

A.B.N. 49 511 228 067

PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS

AT: Lot 128 DP 13914

5 ARNCLIFFE ROAD

EARLWOOD

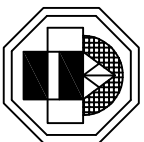
FOR: A. NAHLOUS & C. MULCAHY

Sections-2

SCALE 1:100 DATE 27.06.2022

DRAWN P.O'BRIEN

DRAWING NO: 21-872/12



DRAWN

A.B.N. 49 511 228 067

Site Plan

2

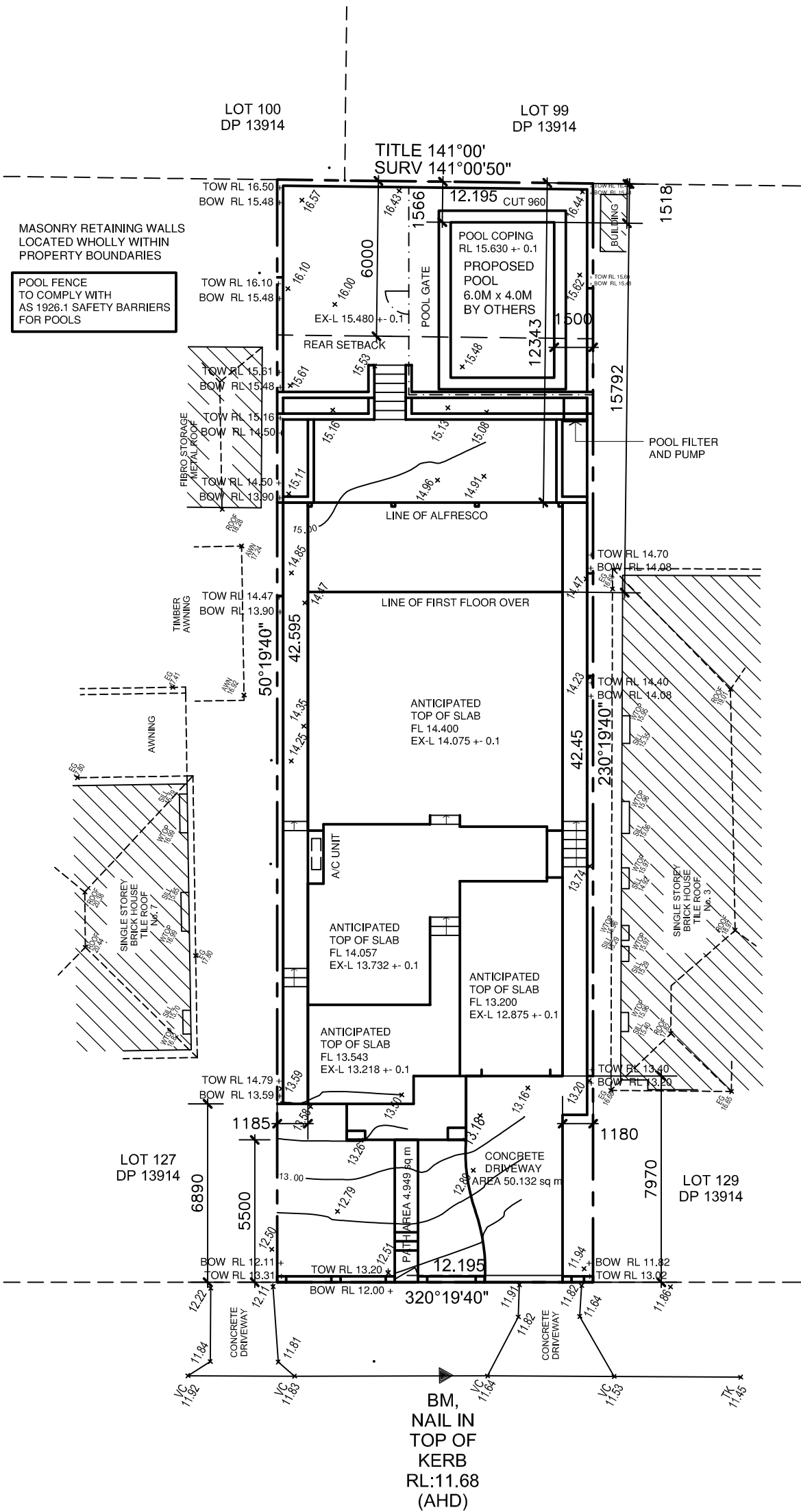
2

2

SITE CALCULATIONS

LANDSCAPE 20%	103.686 sq m
provided 27.3%	141.417 sq m

LANDSCAPE 20%	103.686 sq m
provided 27.3%	141.417 sq m



ALL STRUCTURAL WORKS:
TO CONSULTING STRUCTURAL ENGINEERS
DETAILS AND CERTIFICATION

NOTE :

FRAMING TO AS 1684.2010
CONCRETE FOOTINGS TO AS 2870.2011
PLUMBING TO AS 3500-2003

TERMITE CONTROL TO AS 3660
DPC & FLASHING TO AS 2904

NOTE SEWER CONNECTION:
TO EXISTING CONNECTION

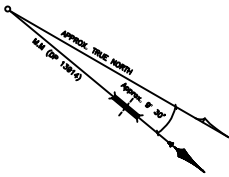
NOTE STORMWATER CONNECTION:
TO EXISTING CONNECTION

NOTE EXCAVATION :
EXCAVATION AS SHOWN

NOTE LEVELS:
ALL RLS ARE TO AHD DATUM

NOTES:

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE
REQUIREMENTS OF VOLUME 2 OF THE
NATIONAL CONSTRUCTION CODE SERIES - BUILDING
CODE OF AUSTRALIA (NCC 2019)



SCALE 1:200 @ A3
DO NOT SCALE OFF DRAWINGS
USE ONLY DIMENSIONS AS MARKED

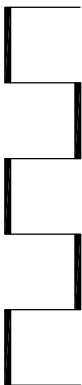
SCALE 1:200 @ A3
DO NOT SCALE OFF DRAWINGS
USE ONLY DIMENSIONS AS MARKED

0 10.0m

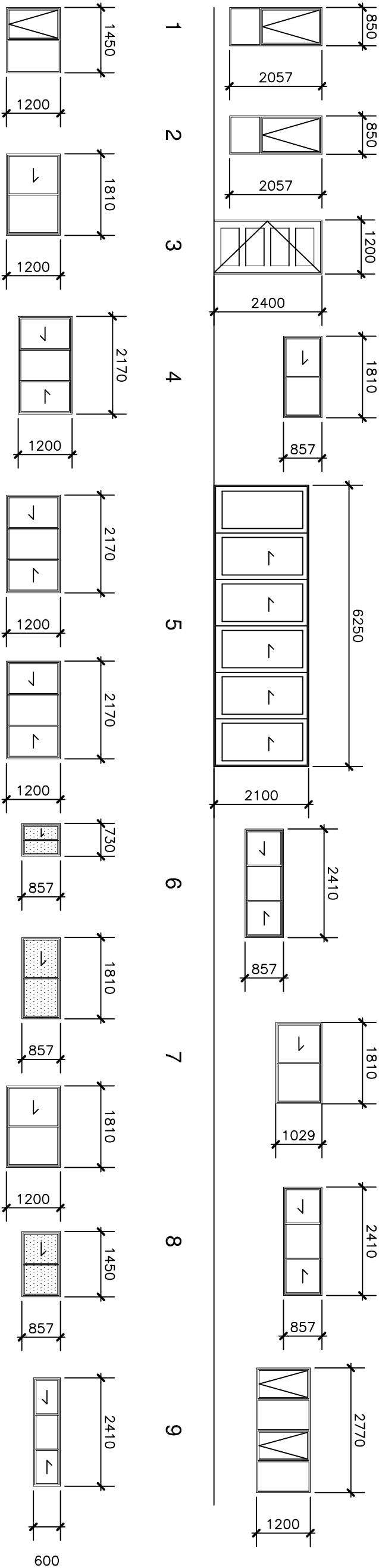
NOTE :

NEW FIRST FLOOR WINDOWS 9 - 19
TO BE PROTECTED IN ACCORDANCE
WITH PART 3.9.2.6 & 3.9.2.7 OF THE NCC 2019

05.0m



SCALE 1:100 @ A3
DO NOT SCALE OFF DRAWINGS
USE ONLY DIMENSIONS AS MARKED



10111213141516171819

WINDOW & DOOR SCHEDULE

No.	Height mm	Width mm	Head Ht mm	Description
1	2057	850	2400	AWNING ALUMINIUM DOUBLE GLAZED
2	2057	850	2400	AWNING ALUMINIUM DOUBLE GLAZED
3	2400	1200	2400	TIMBER FRAME - TO SUIT 1200 DOOR
4	857	1810	2400	SLIDING ALUMINIUM
5	2100	6250	2100	ALUMINIUM BI-FOLD DOORS DOUBLE GLAZED
6	857	2410	1543	SLIDING ALUMINIUM DOUBLE GLAZED
7	1029	1810	2400	SLIDING ALUMINIUM DOUBLE GLAZED
8	857	2410	2400	SLIDING ALUMINIUM DOUBLE GLAZED
9	1200	2770	2165	AWNING ALUMINIUM DOUBLE GLAZED
10	1200	1450	2165	SLIDING ALUMINIUM DOUBLE GLAZED
11	1200	1810	2165	SLIDING ALUMINIUM
12	1200	2170	2165	SLIDING ALUMINIUM
13	1200	2170	2165	SLIDING ALUMINIUM DOUBLE GLAZED
14	1200	2170	2165	SLIDING ALUMINIUM DOUBLE GLAZED
15	857	730	2165	SLIDING ALUMINIUM - OBSCURE GLASS DOUBLE GLAZED
16	857	1810	2165	SLIDING ALUMINIUM - OBSCURE GLASS DOUBLE GLAZED
17	1200	1810	2165	SLIDING ALUMINIUM DOUBLE GLAZED
18	857	1450	2165	SLIDING ALUMINIUM - OBSCURE GLASS DOUBLE GLAZED
19	600	2410	2165	SLIDING ALUMINIUM DOUBLE GLAZED

ISSUE DATE REVISIONS

DRAWN

MOBRI PTY. LIMITED trading as
Peter John O'Brien & Associates
3 ENSIGN PLACE
CASTLE HILL 2154
New South Wales

A.B.N. 49 511 229 067

PROPOSED TWO STOREY BRICK VENEER DWELLING
SWIMMING POOL AND RETAINING WALLS

AT:

Lot 128 DP 13914
5 ARNCLEFFE ROAD
EARLWOOD

FOR:

A. NAHLOUS & C. MULCAHY

Window & Door Schedule

SCALE

1:100

DATE 27.06.2022

DRAWN

P.O'BRIEN

DRAWING NO:

21-872/15